

PLANNING AND DEVELOPMENT

Eugene Foxworth
Director



Beaufort Office
Phone: 252-728-8545
Fax: 252-728-6643

PLANNING COMMISSION

AGENDA

Monday February 10, 2020

5:30 p.m.

1. **Call to Order**
2. **Approval of the Minutes**
December 9, 2019 & January 13, 2020
3. **Rezoning Request:** Derek G. & Cherie P. Walker are requesting to rezone a 0.99-acre property located approximately 1,400 feet south of the Highway 101 and Laurel Road intersection in Beaufort, NC from I-W (Industrial & Wholesale District) to B-1A (General Business District).
4. **Rezoning Request:** On behalf of Curtis S. Dixon, Salt Creek Holdings, LLC is requesting to rezone a 57.63-acre property located at the Highway 24 and Marietta Lane intersection in Newport, NC from R-20 (Single-Family Residential District) to R-15 (Single-Family Residential District).
5. **Preliminary RV Park Plan Approval Extension:** McNeill & Associates is requesting a one-year preliminary park plan approval extension for Silver Creek Landing RV Park, a 141-space recreational vehicle park located at 628 Wetherington Landing Road, Stella, NC.
6. **Next Scheduled Regular Meeting:** March 9, 2020 at 5:30 PM
7. **Adjournment**

PLANNING AND DEVELOPMENT

Eugene Foxworth
Director



Beaufort Office
Phone: 252-728-8545
Fax: 252-728-6643

CARTERET COUNTY PLANNING COMMISSION

February 10, 2020

Rezoning Request

Location: 0.99-acre property located approximately 1,400 feet south of the Highway 101 and Laurel Road intersection in Beaufort, NC 28516 (PIN #: 639904815933000)

Request: Rezone from I-W (Industrial & Wholesale District) to B-1A (General Business District)

Background:

Derek G. & Cherie P. Walker are requesting to rezone a 0.99-acre property located approximately 1,400 feet south of the Highway 101 and Laurel Road intersection in Beaufort, NC from I-W (Industrial & Wholesale District) to B-1A (General Business District).

Currently, there are no structures on the property. The subject property is bordered by residential properties to the north, south, east and west.

The subject property is bordered by R-15M zoning to the north, south and west, I-W zoning to the east, and B-1A zoning to the northeast.

The subject property is situated within the Limited Transition CAMA Land Use Plan classification. Areas included in the Limited Transition classification are areas that will experience increasing development during the next five to ten years. This request is consistent with the Land Use Plan.

Twenty-six surrounding property owners have been notified and the property has been posted. To date, staff has received no written comments.



REZONING APPLICATION

Applicant: Derek Grant Walker
 Address: 490 Glenn Roth Lane
Erwin, NC 28339
 Telephone: 919.418.1736
 E-mail: grant.ncsu@gmx.com

^{Joint}
 Owner (if not Applicant): Cherie P. Walker
 Address: 490 Glenn Roth Ln
Erwin, NC 28339
 Telephone: _____
 E-mail: _____
 Signature: [Signature]
 Date: 1/3/2020 / 1/3/2020

Property address/ location: 1 acre strip between NC 101 and Tottles Grove Rd
 PIN: 639904815933000 Current Zoning: IW Proposed Zoning: B1A

Please explain why the rezoning that you are requesting is warranted: Due to setback requirements, it is difficult to see how any structure could be built on this lot. The most suitable uses for this lot which would not require a structure are permitted under B1A. Also, most of the surrounding properties are residences. The reduced impact of B1A permitted uses would be much more appropriate than those permitted under IW. I own a lot diagonally across Tottles Grove Rd., and plan to build a house on it. I suspect that none of the surrounding residences would welcome any of the IW permitted uses, and would support the change to B1A.

For Staff Use Only:

Application Number: PE220-0000 Amt. Rec'd: \$ 350.00 Received by: EB Date: 01/09/2020

Carteret County Department of Planning and Development
 Eugene Foxworth, Director

Main Office: Courthouse Square
 Beaufort, NC 28516-1896
 Tel: (252) 728-8545
 Fax: (252) 728-6643

Western Office: 701 Cedar Point Blvd.
 Cedar Point, NC 28584-8013
 Tel: (252) 222-5833
 Fax: (252) 222-5825

**Derek G. & Cherie P.
Walker**
Rezoning Request

I-W to B-1A

PIN#: 639904815933000
Beaufort, NC 28516

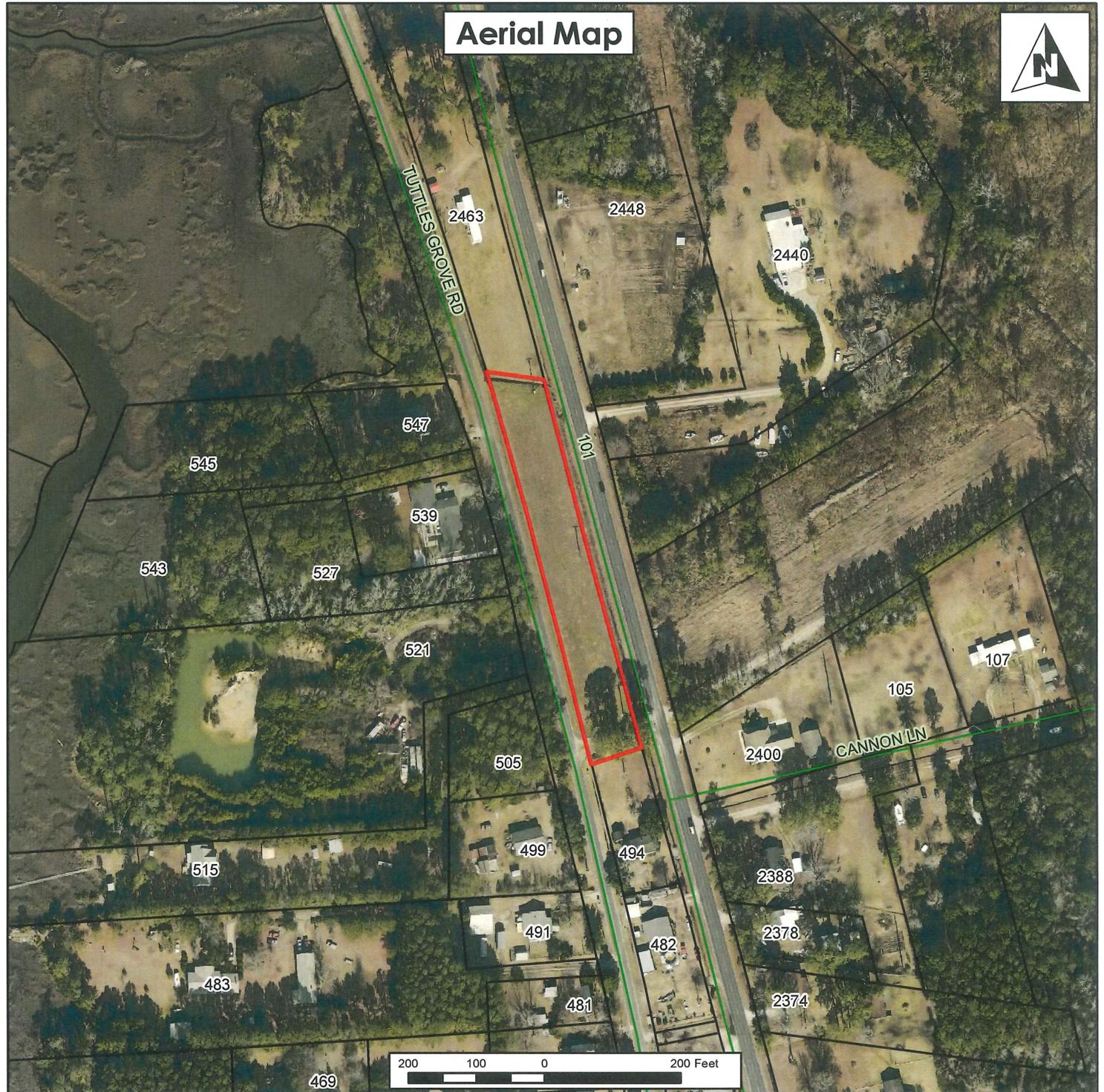
Vicinity



 Subject Property

Prepared By:
Carteret County Planning & Development

Aerial Map



**Derek G. & Cherie P.
Walker**

Rezoning Request

I-W to B-1A

PIN#: 639904815933000
Beaufort, NC 28516

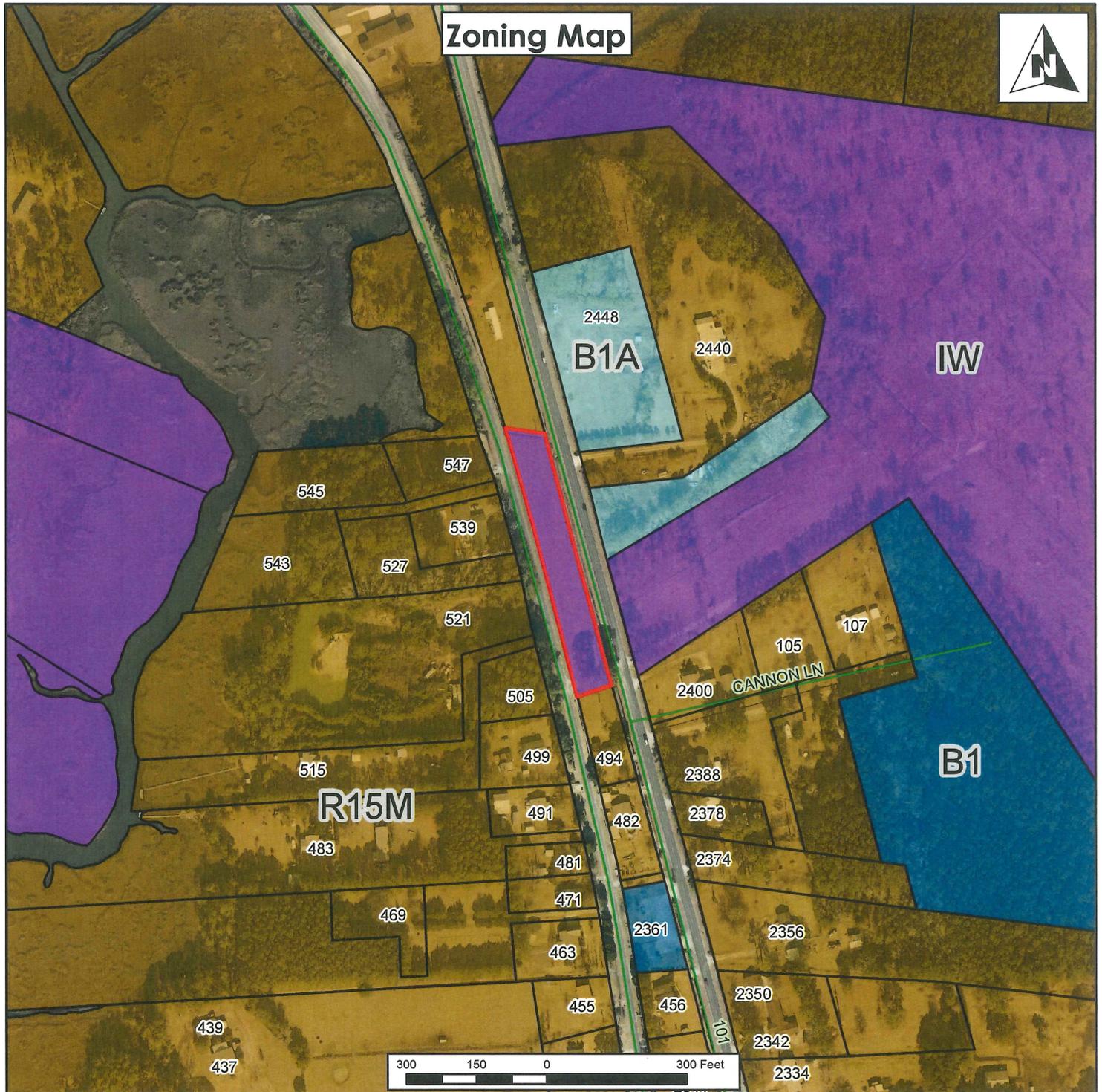
Vicinity



 Subject Property

Prepared By:
Carteret County Planning & Development

Zoning Map



Derek G. & Cherie P. Walker

Rezoning Request

I-W to B-1A

PIN#: 639904815933000
Beaufort, NC 28516

Vicinity

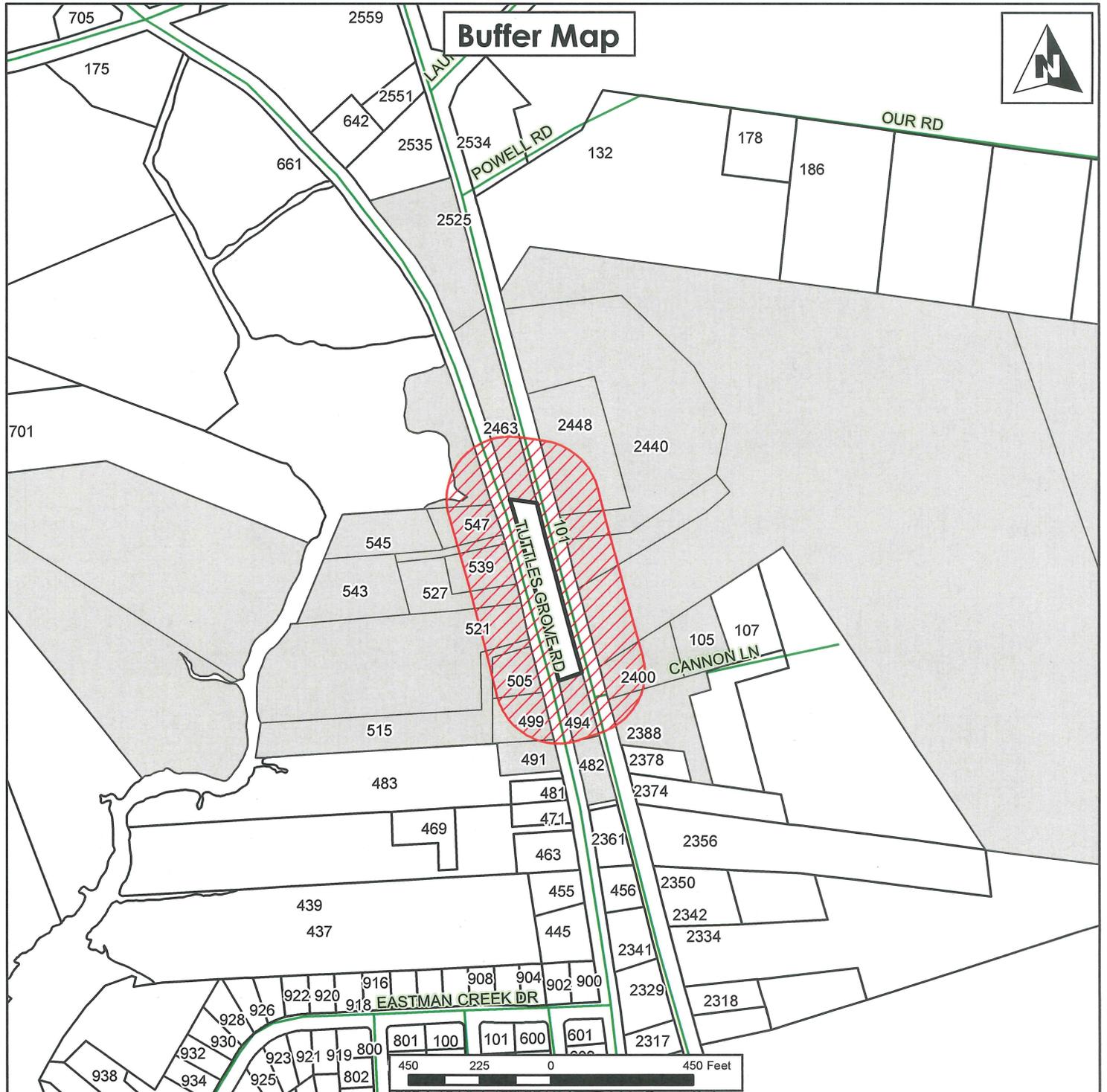


Surrounding Property Owners

Please see the attached property owner list.

 Subject Property

Prepared By:
Carteret County Planning & Development



Surrounding Property Owner List

- | | |
|-------------------------------------|------------------------|
| 1. THE CAMPEN FAMILY LLC | PIN #: 639904821936000 |
| 2. WEYERHAEUSER COMPANY | PIN #: 730903117708000 |
| 3. SPICKETT, WILLIAM S ETUX HEATHE | 2440 HIGHWAY 101 |
| 4. LEWIS, JANICE L | 2463 HIGHWAY 101 |
| 5. WILLIS, MALCOLM R JR ETUX AVIS | PIN #: 639904822407000 |
| 6. VANGUARD VENTURES LLC | PIN #: 639904825351000 |
| 7. 950 CAPITAL GROUP LLC | 801 SENSATION WEIGH |
| 8. SPICKETT, WILLIAM S ETUX HEATHE | PIN #: 639904816927000 |
| 9. LIGHTNING INVESTMENTS LLC | 901 SENSATION WEIGH |
| 10. GRIFFIN, SHERMAN | 547 TUTTLES GROVE ROAD |
| 11. SLOCOMB, JENNIE C | 545 TUTTLES GROVE ROAD |
| 12. SLOCOMB, JENNIE C | PIN #: 639904811918000 |
| 13. SLOCOMB, ROBERT ETUX | 543 TUTTLES GROVE ROAD |
| 14. HENDERSON, ROSENA M | PIN #: 639904812942000 |
| 15. GORGES, WILLIAM D | 527 TUTTLES GROVE ROAD |
| 16. CANNON, JOEL O ETUX LOIS B L/T | 105 CANNON LANE |
| 17. RIFFE, WILLIAM J ETUX ANN | 521 TUTTLES GROVE ROAD |
| 18. CANNON, JOEL O ETUX LOIS B L/T | 2400 HIGHWAY 101 |
| 19. WHITEHEAD, RICHARD A ETUX SHELL | 515 TUTTLES GROVE ROAD |
| 20. HENNINGER, KENNETH G ETUX DOLLI | 505 TUTTLES GROVE ROAD |
| 21. LITTLETON, GRACE | 494 TUTTLES GROVE ROAD |
| 22. CANNON, BENJAMIN CALVIN | 2388 HIGHWAY 101 |
| 23. HENNINGER, KENNETH | 499 TUTTLES GROVE ROAD |
| 24. HALL, MELODIE BELLAMY | 482 TUTTLES GROVE ROAD |
| 25. SHAW, JOANN MOZINGO | 491 TUTTLES GROVE ROAD |
| 26. WOOD 543 LLC | PIN #: 639904922399000 |

Derek G. & Cherie P. Walker

Rezoning Request

I-W to B-1A

PIN#: 639904815933000
Beaufort, NC 28516

Vicinity



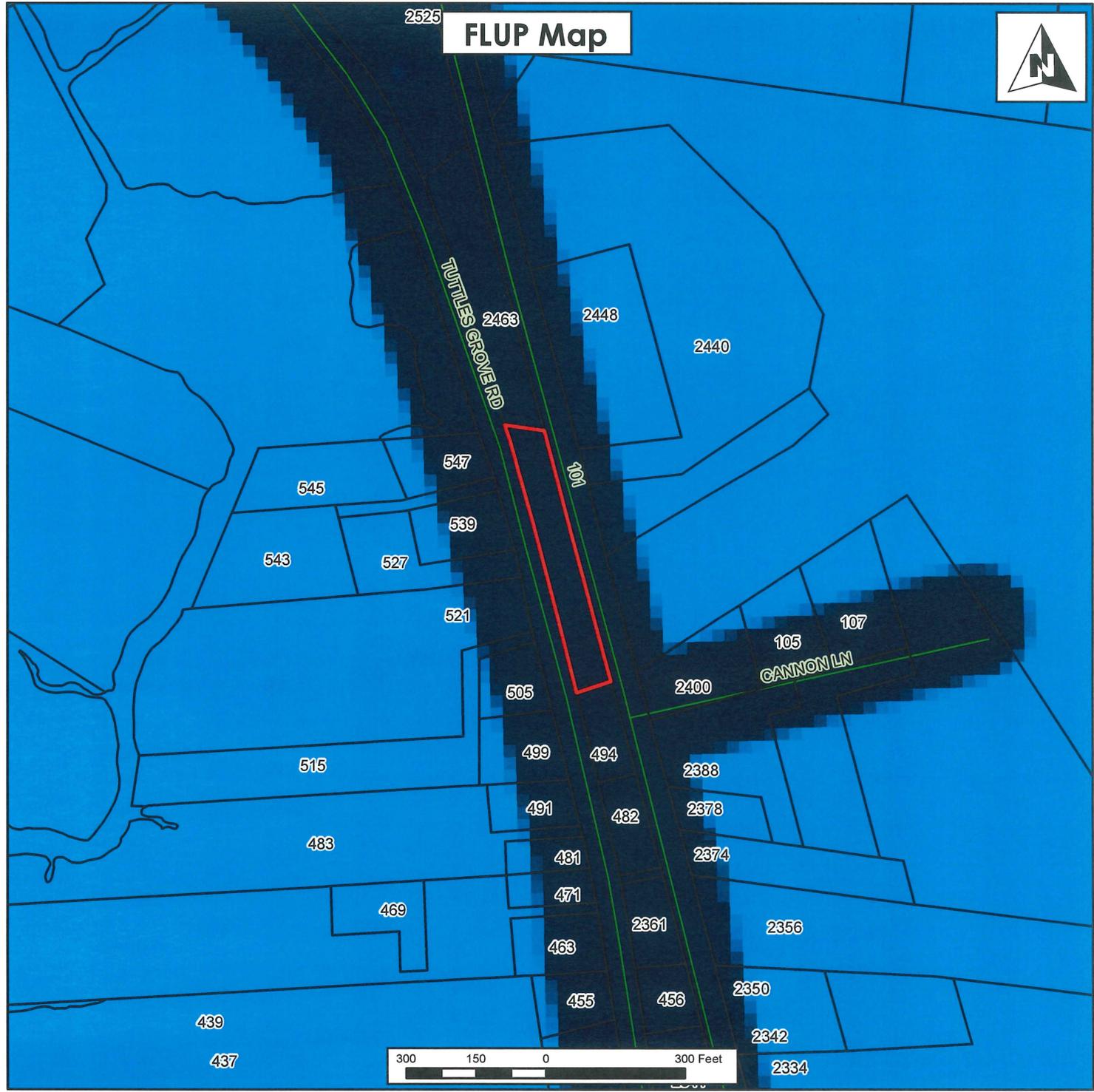
Future Land Use Classifications

-  Developed
-  Limited Transition
-  Community
-  Rural
-  Rural With Services
-  Protected Lands
-  Conservation

 Subject Property

Prepared By:
Carteret County Planning & Development

FLUP Map



PLANNING AND DEVELOPMENT

Eugene Foxworth
Director



Beaufort Office
Phone: 252-728-8545
Fax: 252-728-6643

*Prior to adopting or rejecting any zoning amendment, the governing board shall adopt a statement describing whether its action is consistent with an adopted comprehensive plan and explaining why the board considers the action taken to be reasonable and in the public interest. The planning board shall advise and comment on whether the proposed amendment is consistent with any comprehensive plan that has been adopted and any other officially adopted plan that is applicable. The planning board shall provide a written recommendation to the board of county commissioners that addresses plan consistency and other matters as deemed appropriate by the planning board, but a comment by the planning board that a proposed amendment is inconsistent with the comprehensive plan shall not preclude consideration or approval of the proposed amendment by the governing board.
(NCGS 153A-341)*

REZONING MAP AMENDMENT:

Applicant: Derek G. & Cherie P. Walker
Owner: Derek G. & Cherie P. Walker
Address: N/A
Tax Map and Parcel(s): 639904815933000
Parcel Size: 0.999 Acres

REQUEST:

Rezone from I-W (Industrial & Wholesale District) to B-1A (General Business District)

STATEMENT OF CONSISTENCY & RECOMMENDATION:

At their meeting on February 10, 2020, the Planning Commission voted to recommend **approval/denial** of the proposed rezoning map amendment and stated, "The Planning Commission finds and determines that case number REZ20-000001 **is/is not** consistent with the goals, objectives and policies of the CAMA Land Use Plan.

Motion to approve/deny by:

Seconded by:

PLANNING AND DEVELOPMENT

Eugene Foxworth
Director



Beaufort Office
Phone: 252-728-8545
Fax: 252-728-6643

PUBLIC NOTICE

The Carteret County Planning Commission will hold a public meeting on February 10, 2020 at 5:30 p.m. in the Board of Commissioners' Meeting Room (302 Courthouse Square, Administration Building, Beaufort, NC) to make a recommendation on a rezoning application for a 0.99-acre property located approximately 1,400 feet south of the Highway 101 and Laurel Road intersection in Beaufort, NC 28516 (PIN#: 639904815933000) to rezone the property from I-W (Industrial & Wholesale District) to B-1A (General Business District).

A copy of the proposed request is available for public inspection in the Carteret County Planning and Development Department, 402 Broad Street, Beaufort, NC.

Eugene Foxworth
Planning Director

Advertise: Carteret County News-Times
Wednesday, January 22, 2020
Wednesday, January 29, 2020

PLANNING AND DEVELOPMENT

Eugene Foxworth
Director



Beaufort Office
Phone: 252-728-8545
Fax: 252-728-6643

CARTERET COUNTY PLANNING COMMISSION

February 10, 2020

Rezoning Request

Location: 57.63-acre property located at the Highway 24 and Marietta Lane intersection in Newport, NC 28570 (PIN#: 632603339643000)

Request: Rezone from R-20 (Single-Family Residential District) to R-15 (Single-Family Residential District)

Background:

On behalf of Curtis S. Dixon, Salt Creek Holdings, LLC is requesting to rezone a 57.63-acre property located at the Highway 24 and Marietta Lane intersection in Newport, NC from R-20 (Single-Family Residential District) to R-15 (Single-Family Residential District).

Currently, there are no structures on the property. The subject property is bordered by residential properties to the east and south, and undeveloped properties to the north and west.

The subject property is bordered by R-20 zoning to the north, south and east. The subject property is also bordered by R-15 zoning to the east, B-1 zoning to the south and B-1A zoning further to the south.

The subject property is situated within two CAMA Land Use Plan classifications, Limited Transition and Protected Lands. Areas included within the Limited Transition classification are areas that will experience increasing development during the next five to ten years. Areas included within the Protected Lands classification are lands that are not under Carteret County or municipal planning or regulatory jurisdiction. Included in this category are federal, state, local, and non-profit property and easements that are managed for conservation and open space (i.e. Croatan National Forest).

As the future land use map is currently drawn, this request is not consistent with the CAMA Land Use Plan because it does not meet any of the Protected Lands classification requirements. It is staff's belief that the classification line should follow the property line, which would make the subject property Limited Transition and the Croatan National Forest Protected Land.

Thirty-eight surrounding property owners have been notified and the properties have been posted. To date, staff has received one written comment.



REZONING APPLICATION

Applicant: SALT CREEK HOLDINGS LLC

Owner (if not Applicant): CURTIS DEXON

Address: 505 CRESTWOOD DR.
NEWPORT NC 28570

Address: 115 MARIETTA LN
NEWPORT NC 28570

Telephone: 252-725-1226

Telephone: 252-247-2643

E-mail: smurdoch002@cc.nc.com

E-mail: _____

Signature: Curtis S. Dexon

Date: 1-13-2020

Property address/location: Hwy 24 W NEWPORT NC.

PIN: 6032603339643000 Current Zoning: R-20 Proposed Zoning: R-15

Please explain why the rezoning that you are requesting is warranted: PROPOSING NEW
SUBDIVISION. PROPERTY HAS ACCESS TO PUBLIC
WATER TO WARRANT R-15 ZONING.

For Staff Use Only:

Application Number: 2020-00002 Amt. Rec'd: \$350.00 Received by: EB Date: 01/15/2020

Carteret County Department of Planning and Development
Eugene Foxworth, Director

Main Office: Courthouse Square
Beaufort, NC 28516-1896
Tel: (252) 728-8545
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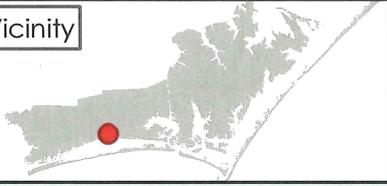
Western Office: 701 Cedar Point Blvd.
Cedar Point, NC 28584-8013
Tel: (252) 222-5833
Fax: (252) 222-5825

Salt Creek Holdings, LLC
Rezoning Request

R-20 to R-15

PIN#: 632603339643000
Newport, NC 28570

Vicinity



 Subject Property

Prepared By:
Carteret County Planning & Development

Aerial Map

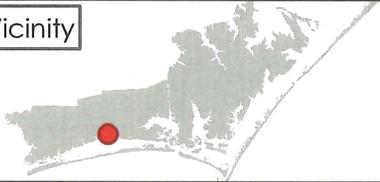


Salt Creek Holdings, LLC
Rezoning Request

R-20 to R-15

PIN#: 632603339643000
Newport, NC 28570

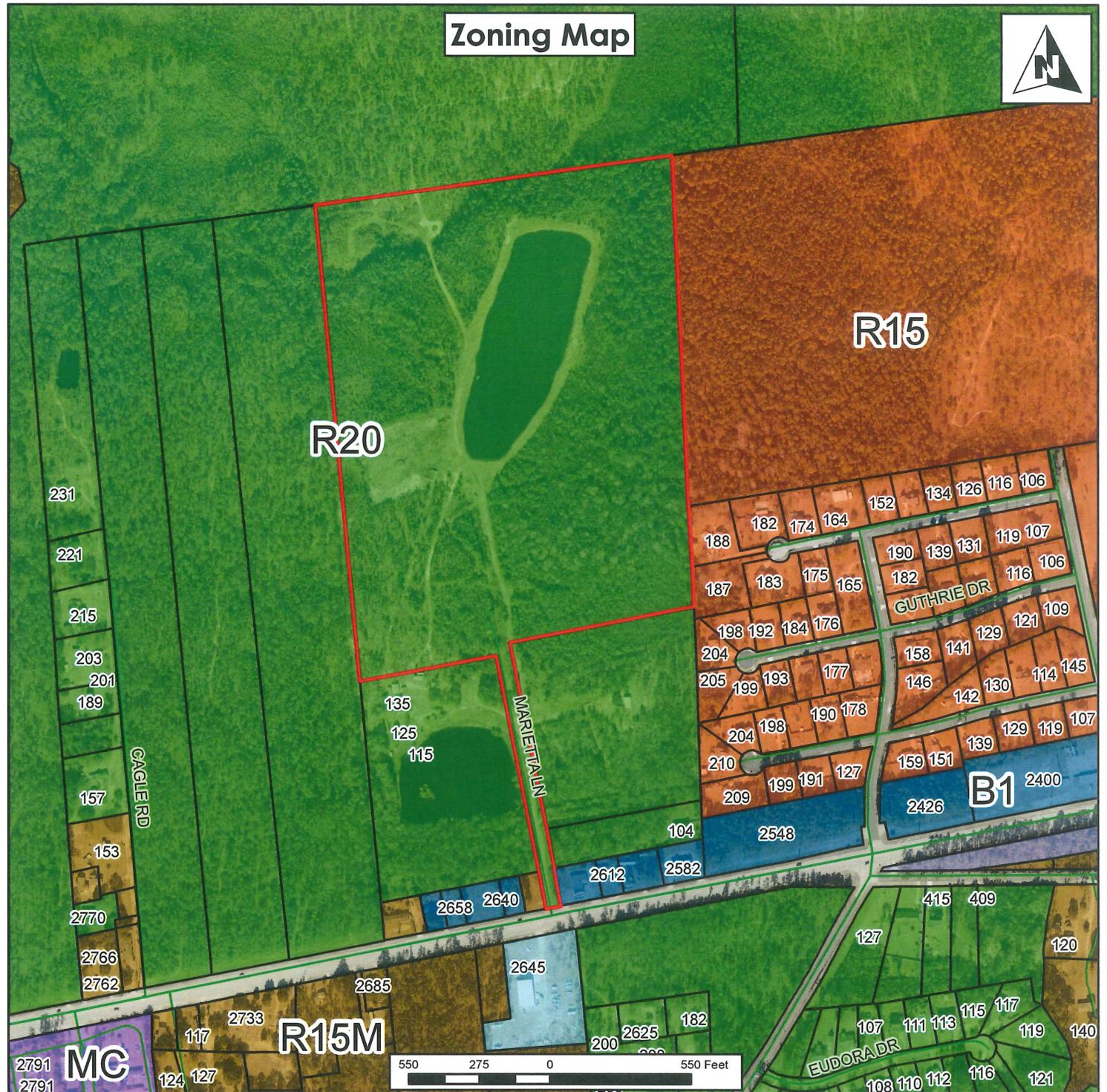
Vicinity



 Subject Property

Prepared By:
Carteret County Planning & Development

Zoning Map



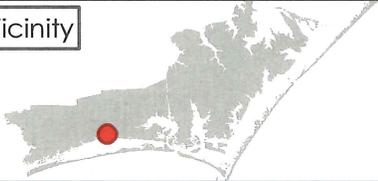
Salt Creek Holdings, LLC

Rezoning Request

R-20 to R-15

PIN#: 632603339643000
Newport, NC 28570

Vicinity



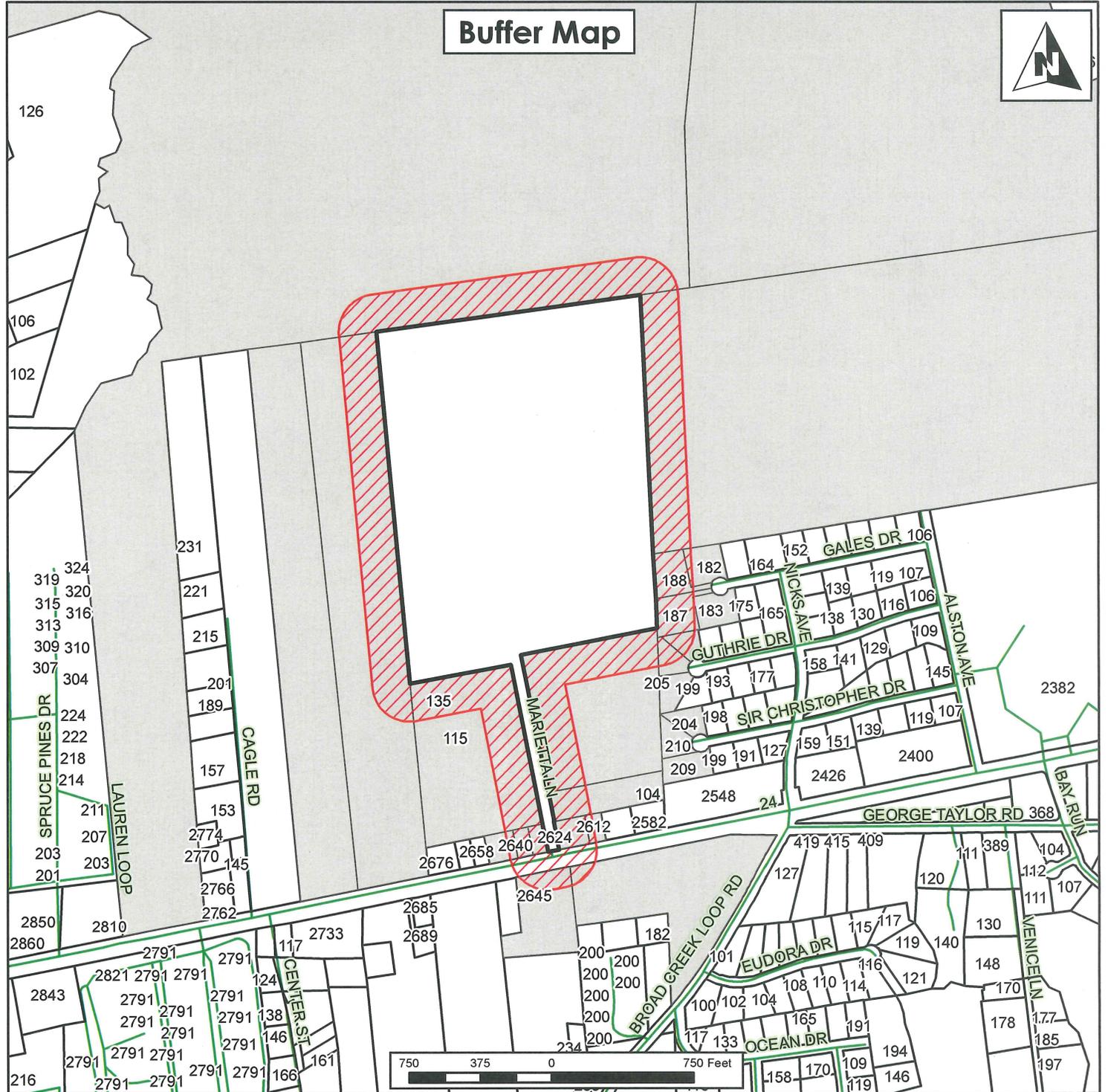
Surrounding Property Owners

Please see the attached property owner list.

 Subject Property

Prepared By:
Carteret County Planning & Development

Buffer Map

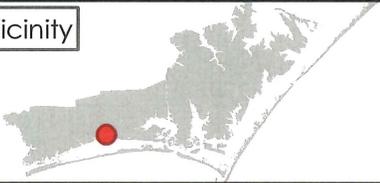


Salt Creek Holdings, LLC
Rezoning Request

R-20 to R-15

PIN#: 632603339643000
Newport, NC 28570

Vicinity



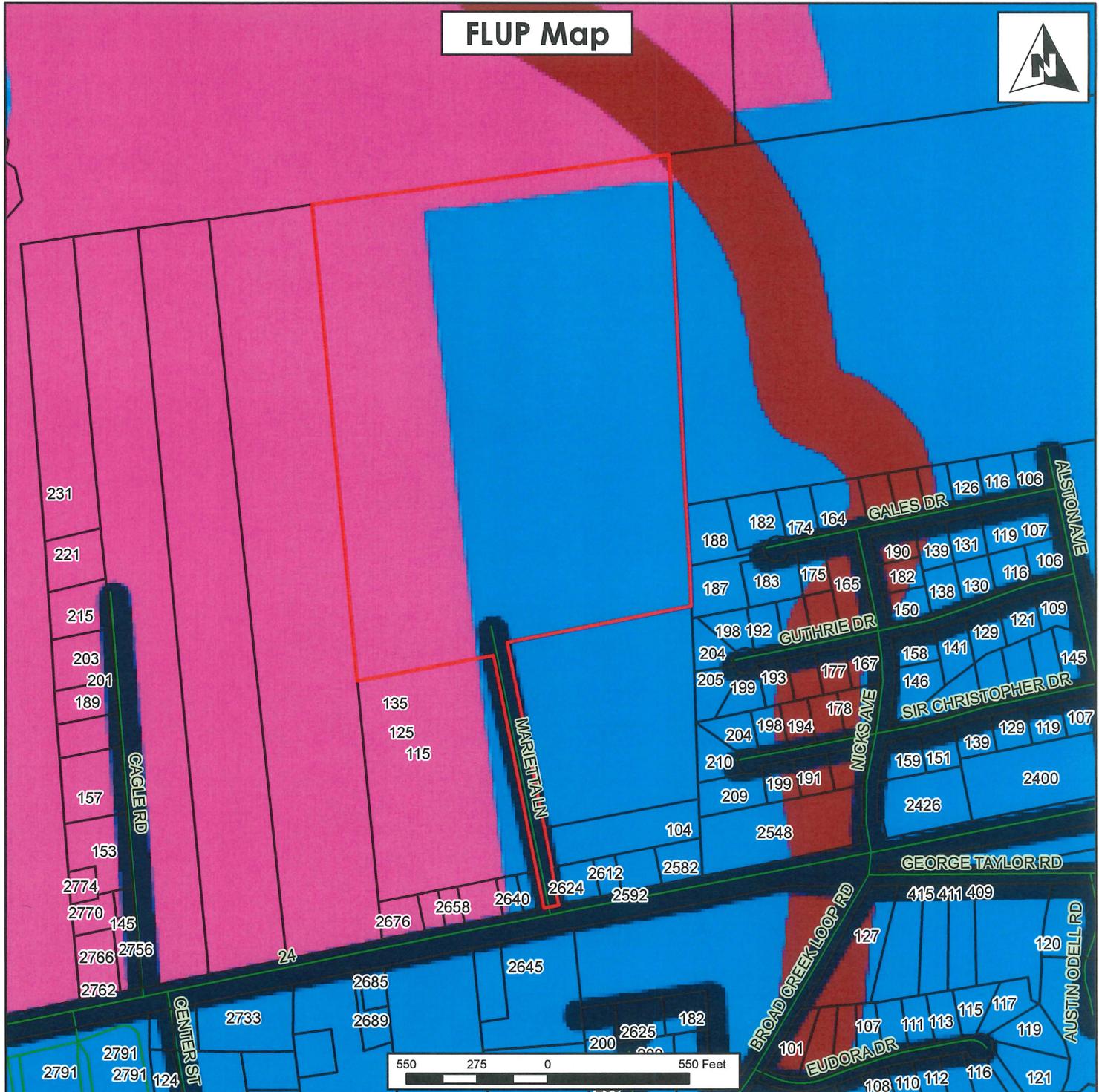
Future Land Use Classifications

-  Developed
-  Limited Transition
-  Community
-  Rural
-  Rural With Services
-  Protected Lands
-  Conservation

 Subject Property

Prepared By:
Carteret County Planning & Development

FLUP Map



PLANNING AND DEVELOPMENT

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(NCGS 153A-341)

REZONING MAP AMENDMENT:

Applicant: Salt Creek Holdings, LLC
Owner: Curtis S. Dixon
Address: N/A
Tax Map and Parcel(s): 632603339643000
Parcel Size: 57.63 Acres

REQUEST:

Rezone from R-20 (Single-Family Residential District) to R-15 (Single-Family Residential District)

STATEMENT OF CONSISTENCY & RECOMMENDATION:

At their meeting on February 10, 2020, the Planning Commission voted to recommend **approval/denial** of the proposed rezoning map amendment and stated, "The Planning Commission finds and determines that case number REZ20-000002 **is/is not** consistent with the goals, objectives and policies of the CAMA Land Use Plan.

Motion to approve/deny by:

Seconded by:

PLANNING AND DEVELOPMENT

Eugene Foxworth
Director



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PUBLIC NOTICE

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A copy of the proposed request is available for public inspection in the Carteret County Planning and Development Department, 402 Broad Street, Beaufort, NC.

Eugene Foxworth
Planning Director

Advertise: Carteret County News-Times
Wednesday, January 22, 2020
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PLANNING AND DEVELOPMENT

Eugene Foxworth
Director



Beaufort Office
Phone: 252-728-8545
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CARTERET COUNTY PLANNING COMMISSION **February 10, 2020**

Silver Creek Landing RV Park - Preliminary Park Plan Approval Extension **141 Spaces**

McNeill & Associates is requesting a one-year preliminary park plan approval extension for Silver Creek Landing RV Park, a 141-space recreational vehicle park located at 628 Wetherington Landing Road, Stella, NC 28582 (PIN#: 536701181389000, 536701172463000 and 536701163527000). This extension would extend the validity of the preliminary park plan until February 10, 2021.

Silver Creek Landing RV Park was granted preliminary park plan approval by the Planning Commission on February 11, 2019.

Attached in your packet is an application from the applicant requesting a one-year preliminary plat approval extension until February 11, 2021. Staff is happy to answer any additional questions that you may have.

DEVELOPMENT SUBMITTAL FORM

Carteret County Department of Planning and Development

Main Office: Courthouse Square - Beaufort, NC 28516-1896 Tel: (252) 728-8545 Fax: (252) 728-6643
 Western Office: 701 Cedar Point Blvd. - Cedar Point, NC 28584-8013 Tel: (252) 222-5833 Fax: (252) 222-5825

All fees must accompany this form and checklist

PROPERTY or DEVELOPMENT NAME: _____

ADDRESS and PIN(s): _____

APPLICANT: ALAN BELL

OWNER(S): MC NEIL & ASSOCIATES

ADDRESS: _____

ADDRESS: 661 PELLETIER LOOP RD. SWANSBORO, N.C. 28584

PHONE # _____

PHONE # _____

E-MAIL ADDRESS: _____

E-MAIL ADDRESS: _____

Signature of Applicant/Agent: [Signature] Date: 6/27/18

PLEASE CHECKMARK ALL APPLICABLE ITEMS

SUBMITTING FOR: In-house review TRC* PC ZBoA Other _____

* TRC meetings are held in the Planning Department's 2nd floor Conference Room. If you need special accommodations, please let us know.

SUBDIVISIONS: Acres _____ Lots _____

- | | |
|---|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> Exemption to the Subdivision Regulations <input type="checkbox"/> Lot Split <input type="checkbox"/> Completed and signed copies of Appendices A and B <input type="checkbox"/> Alternative Access Subdivision <input type="checkbox"/> Mylar + dxf or dwg file <ul style="list-style-type: none"> <input type="checkbox"/> Completed and signed copies of Appendices A and B <input type="checkbox"/> Access Easement <input type="checkbox"/> Family Subdivision <input type="checkbox"/> Private Lane <input type="checkbox"/> Flag Lot <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Completed and signed copy of Appendix A <ul style="list-style-type: none"> <input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Major Subdivision <input type="checkbox"/> Paper + pdf or jpeg <input type="checkbox"/> Planned Conservation Development <input type="checkbox"/> Paper + pdf or jpeg | <ul style="list-style-type: none"> <input type="checkbox"/> Preliminary Plat <ul style="list-style-type: none"> <input type="checkbox"/> Completed and signed copies of Appendices A and B <input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Major Subdivision <input type="checkbox"/> Paper + pdf or jpeg <input type="checkbox"/> Planned Conservation Development <input type="checkbox"/> Paper + pdf or jpeg <input type="checkbox"/> Preliminary Plat Approval Extension <input type="checkbox"/> Final Plat <input type="checkbox"/> Mylar + dxf or dwg file <ul style="list-style-type: none"> <input type="checkbox"/> Performance Guarantee Processing <input type="checkbox"/> Performance Guarantee Extension <input type="checkbox"/> Final Plat Approval Extension <input type="checkbox"/> Recreation Fee (Amount \$ _____ and District # _____) |
|---|---|

ALL OTHER PLANNING AND ZONING MATTERS

- | | |
|--|---|
| <ul style="list-style-type: none"> <input type="checkbox"/> ABC Permit Zoning Review <input type="checkbox"/> Airport Height Limits Permit: Proposed height = _____ <input type="checkbox"/> Appeal of an Administrative Decision <input type="checkbox"/> Communication Tower: Height = _____ <ul style="list-style-type: none"> <input type="checkbox"/> Exemption <input type="checkbox"/> Consultant Fees <input type="checkbox"/> Tower <input type="checkbox"/> Co-Location <input type="checkbox"/> Performance & Removal Surety Processing <input type="checkbox"/> Temporary Use <input type="checkbox"/> Meteorological Tower <input type="checkbox"/> Conditional Use Rezoning: District _____ Use _____ <input type="checkbox"/> Group Housing Development: Acres _____ Units _____ <ul style="list-style-type: none"> <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Paper + pdf or jpeg <input type="checkbox"/> Final Plan and Permit <input type="checkbox"/> Final Plan Amendment or Revision <input checked="" type="checkbox"/> MH Park or RV Park Preliminary Plan: Spaces _____ <ul style="list-style-type: none"> <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Paper + pdf or jpeg <input type="checkbox"/> Preliminary Plan Approval Extension <input type="checkbox"/> Final Plan and Permit <input type="checkbox"/> Final Plan Amendment or Revision <input type="checkbox"/> Triennial Park Inspection | <ul style="list-style-type: none"> <input type="checkbox"/> Ordinance Interpretation <input type="checkbox"/> Planned Unit Development: Acres _____ Units _____ <ul style="list-style-type: none"> <input type="checkbox"/> Regular <input type="checkbox"/> Paper + pdf or jpeg <input type="checkbox"/> Flexible <input type="checkbox"/> Paper + pdf or jpeg <input type="checkbox"/> Rezoning from _____ to _____ <input type="checkbox"/> Road Abandonment <input type="checkbox"/> Road Addition <input type="checkbox"/> Sign Permit: Square Feet _____ <input type="checkbox"/> Special Use Permit for _____ <input type="checkbox"/> Text Amendment <input type="checkbox"/> Variance <input type="checkbox"/> Wind Energy Facility: kW _____ Height _____ <ul style="list-style-type: none"> <input type="checkbox"/> Temporary Pole or Tower <input type="checkbox"/> Small System <input type="checkbox"/> Large System <input type="checkbox"/> Utility-scale <input type="checkbox"/> Performance & Removal Surety Processing <input type="checkbox"/> Other: _____ |
|--|---|

Staff Use Only: Amount Paid: <u>\$225.00</u> Date Rec'd: <u>6/27/18</u>
Rec'd by: <u>[Signature]</u>

Silver Creek Landing RV Park

Preliminary Park Plan Approval

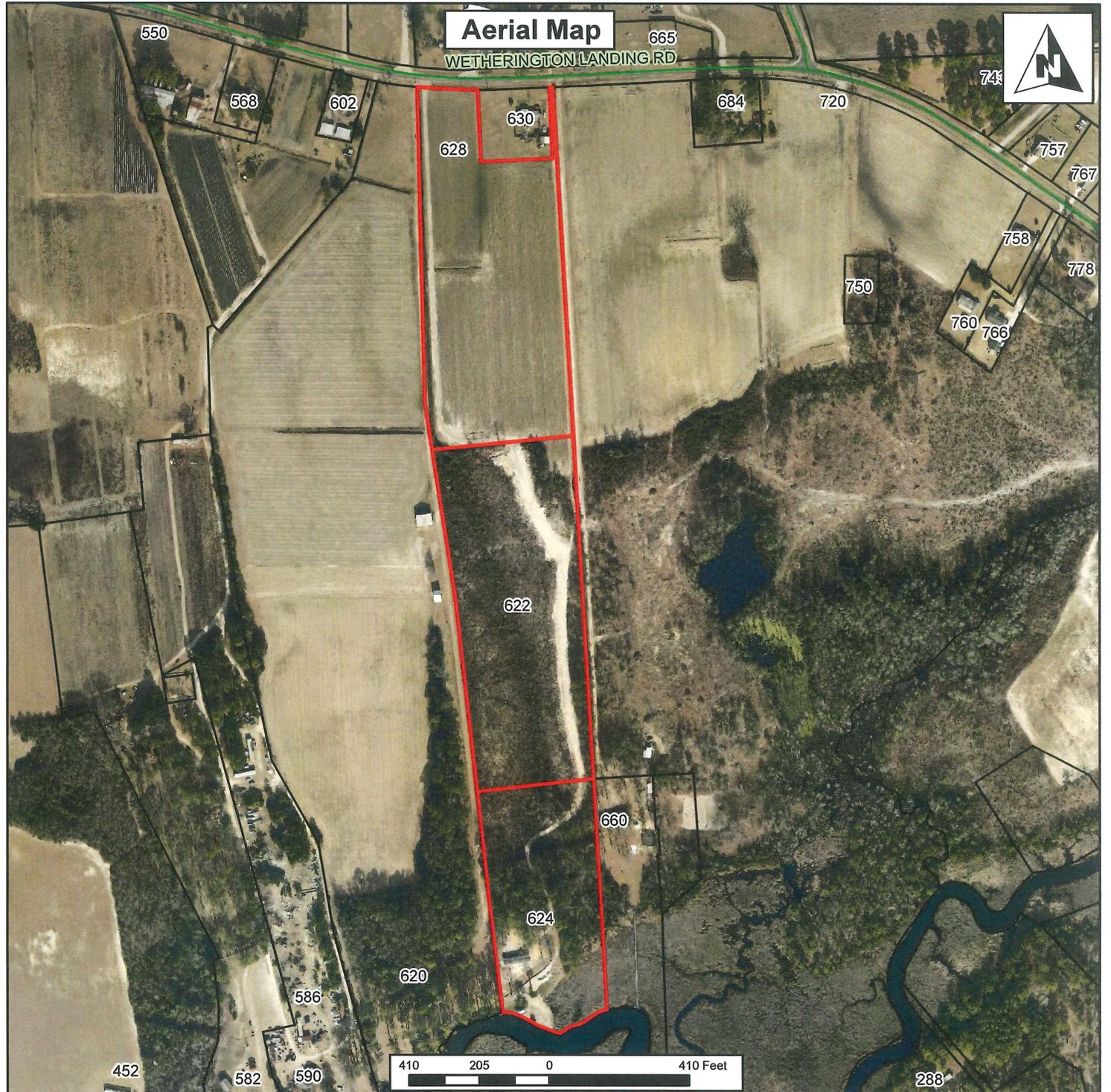
628 Wetherington Landing Road
Stella, NC 28582

Vicinity



 Subject Properties

Prepared By:
Carteret County Planning & Development



AMENDED

TRC Meeting July 12, 2018 2:00 p.m. Silver Creek Landing RV Park

Planning Department Comments

- Approved Sediment & Erosion Control Plan and an approved Stormwater permit
- Letter from CCEMC agreeing to provide electrical service to the RV Park
- Environmental Health Approval
- Letter from West Carteret Water Corp. agreeing to provide the RV park with water
- Notation on the plat limiting RVs located in the SFHA to less than 180 consecutive days to comply with the County's Flood Ordinance
- NCDOT Driveway permit
- In all cases where a recreational vehicle park use abuts any other use or zoning district, screening shall be provided. The preliminary park plan only shows screening adjacent to the 630 Wetherington Landing Road property.
- Dumpsters, trash compactors, and similar trash receptacles, (other than a receptacle that serves just an individual recreational vehicle space shall be enclosed on all four sides.
- Screen porches/rooms, decks, sunrooms, and/or other enclosures not exceeding 300 square feet shall be allowed within approved recreational vehicle parks. The preliminary park plan shows a 330 square foot deck on the typical RV space.
- The 3 lots will need to be combined into one parcel
- Utility layout plan
- Location of RV park signage is to be shown on the plat
- Plan depicting the layout and intensity of street lights

Fire Marshall Comments

- If a gate is installed it must comply with 503.6 of the fire code. Typically siren activated when closed, and becomes open during a power failure.
- Fire Hydrants. Main size is 6 inches min. Please install on the right hand side of the road.
- Hydrants needed at the following locations: Lot-1, Lot-21, Lot-80, Lot-104 / loop, Lot-123, Lot-144
- Streets to be named
- Lots to be numbered
- All electrical panels labeled to the areas / lots that they serve
- Pool chemical room labeled as such
- Pool: a non-coin operated telephone for emergency use is required at the pool
- Pool, bathhouse and all buildings require a fire extinguisher / emergency lights and exit signs as required in the code
- If an LP gas filling station is installed, it must meet the provisions of NFPA 58, and meet code requirements for traffic, security and fire extinguisher.
- If a marina is built now or in the future it must meet the provisions of Chapter 45 of the fire code.

PLANNING AND DEVELOPMENT

Eugene Foxworth
Director



Beaufort Office
Phone: 252-728-8497
Fax: 252-728-6643

PUBLIC NOTICE

The Carteret County Planning Commission will hold a public meeting on February 10, 2020 at 5:30 p.m. in the Board of Commissioners' Meeting Room (Courthouse Square, Administration Building, Beaufort, NC) to discuss a request for a one-year extension of existing preliminary park plan approval for Silver Creek Landing RV Park, a 141-space recreational vehicle park located at 628 Wetherington Landing Road, Stella, NC 28582 (PIN#: 536701181389000).

Interested parties are encouraged to attend the public meeting or call (252) 728-8545 for more information.

Eugene Foxworth
Planning Director

Advertise: Carteret County News-Times
Wednesday, January 22, 2020
Wednesday, January 29, 2020